

REFERENCE: P/17/511/FUL

APPLICANT: Mr & Mrs D Newton Williams The Cottage, 34 Esplanade Avenue, Porthcawl, CF36 3YU

LOCATION: **The Cottage 34 Esplanade Avenue Porthcawl CF36 3YU**

PROPOSAL: Construct 2 x 2 bed dwellings in garden

RECEIVED: 14 June 2017

SITE INSPECTED: 28 June 2017

APPLICATION/SITE DESCRIPTION

The application seeks permission for the erection of two semi-detached dwellings within the front garden of 'The Cottage' 34 Esplanade Avenue, Porthcawl.

The proposed dwellings would be positioned alongside the existing end terrace property that fronts Esplanade Avenue (the Lorelei Hotel) with a similar form, design and general appearance to the properties that characterise the existing street scene.



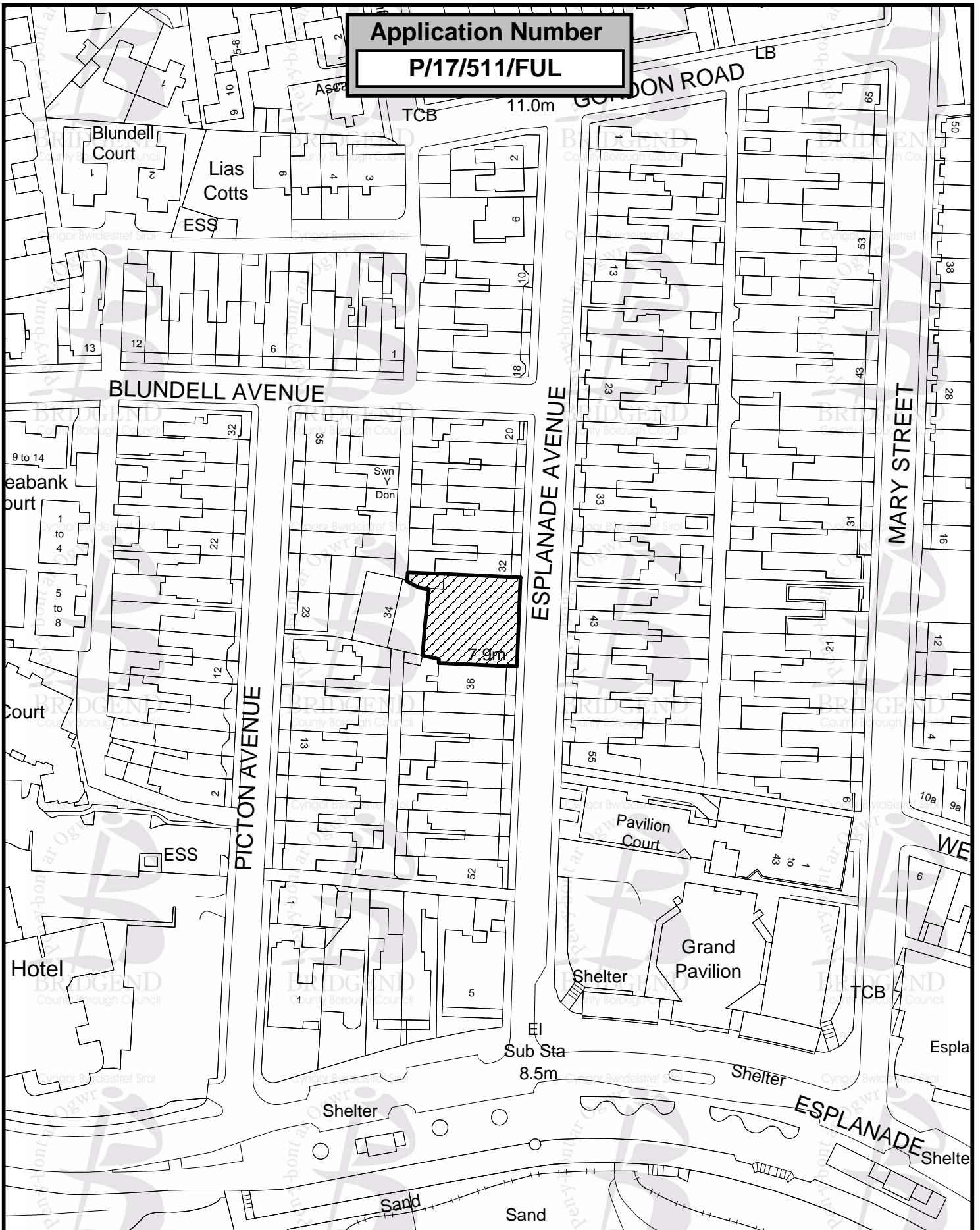
Figure 1: Street scene view of the application site

Each dwelling would have a traditional design with useable roof space and measure 6.0m in width by 7.0m in depth. Each dwelling would benefit from a projecting bay window with roof gable features and small front and rear dormer additions to match the adjacent properties. The dwellings would have an approximate height of 10.3m from ground level, which is comparable to the height of the adjacent building that flanks the south of the site. Each dwelling would have a roughcast rendered finish with slate tiled roof to match the adjoining properties.

The ground floor of each dwelling would accommodate a living/kitchen area and utility room. At first floor level a bedroom, bathroom and lounge area would be created. At second floor level within the roof space of the building(s) another bedroom with en-suite bathroom would be created.

Application Number

P/17/511/FUL



Scale 1:1,250

Date Issued:
10/08/2017

Development-Mapping
Tel: 01656 643176

Mark Shephard

Corporate Director-Communities

Communities Directorate,
Bridgend County Borough
Council, Civic Offices,
Angel Street,
Bridgend CF31 4WB.

O/Drive/Plandraw/new MI layouts/
Committee DC Plan

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Figure 2: Proposed front elevation/street scene view of the development

As part of the application proposal off-street car parking provision, two spaces per two bedroom dwelling and a visitor's car parking space, would be created towards the rear and northern side of the buildings. An existing flat roofed garage to the front of the existing cottage premises would be demolished as part of the proposal to accommodate the off-street car parking provision. It is also detailed that three off street car parking spaces would be retained for the existing cottage premises at the site. A 6m wide turning area and garden spaces would also be created to the rear of each of the proposed plots.

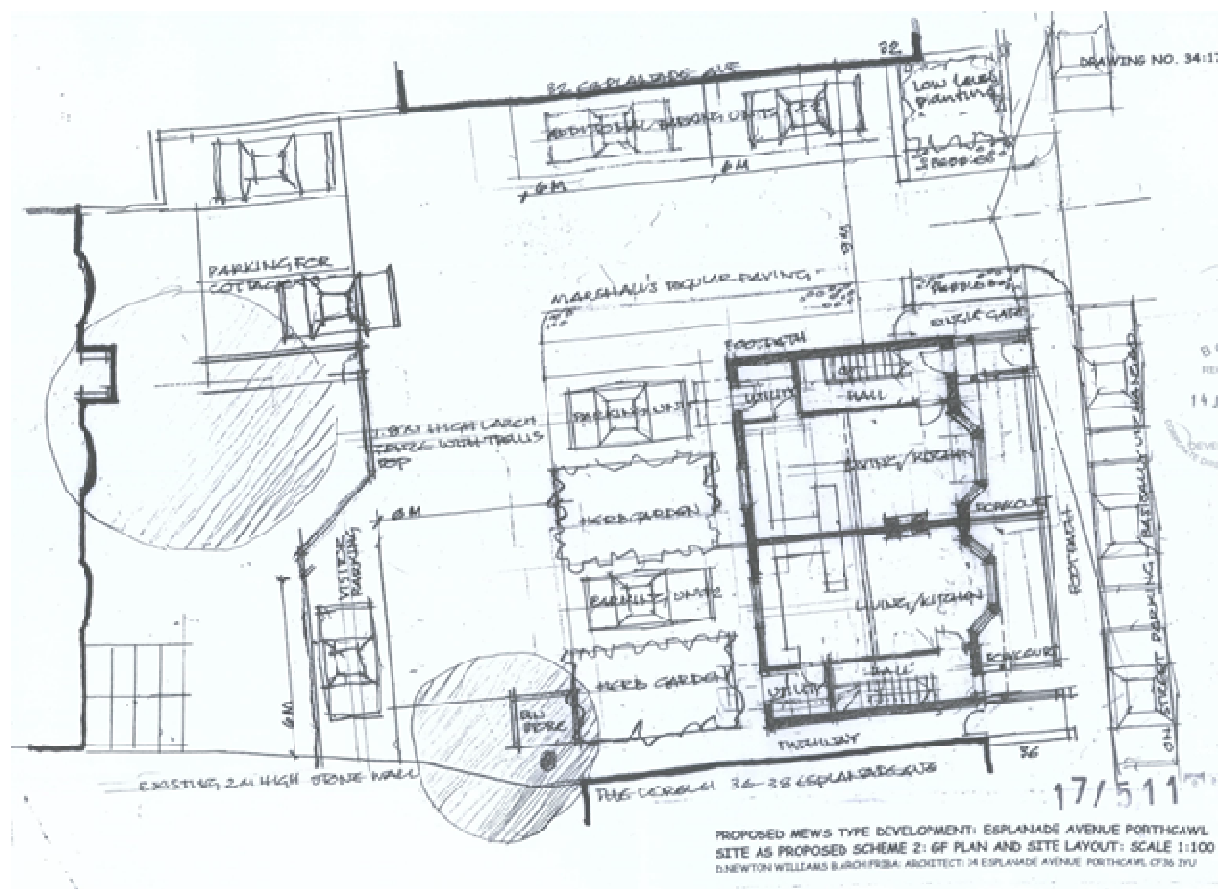


Figure 3: Proposed layout of the development

The application site is situated within the built up area of Porthcawl and falls within the Porthcawl Conservation Area. Esplanade Avenue was included within the newly extended Conservation Area boundary because the houses therein represent some of the finest examples of turn-of-the-century terraced villa housing in Porthcawl. The street has an important consistency and quality of design that is typical of late Victorian townscape.

Situated on a relatively flat site on this residential side street the application site comprises the existing front garden space of the residential property known as 'The Cottage'. It comprises a predominantly lawned area with areas of planting and some mature trees. A high fence defines the front boundary of the site with vehicle access existing to the north of the plot direct off Esplanade Avenue. The plot has a broadly rectangular shape and measures approximately 22metres in width by 31metres in depth. Adjoining the south of the site is a hotel premise with residential properties flanking the north of the site and situated opposite the site beyond the public highway.

RELEVANT HISTORY

P/17/115/FUL - New mews type development in garden (3 dwellings) – Withdrawn 25/05/2017.

PUBLICITY

The application has been advertised by means of press and site notice.

Neighbours have been notified of the receipt of the application.

The period allowed for response to consultations/publicity expired on 19 July 2017.

CONSULTATION RESPONSES

Councillor Sean Aspey - Comments he is not happy with the impact the proposed development would have on the existing cottage in terms of conservation. A site visit is therefore requested to be undertaken by the Development Control Committee to assess the impact of the development in this regard. The submitted plans do not give a proper representation to the character and surrounding environment of the existing cottage.

Porthcawl Town Council - No objection.

Group Manager Public Protection - No objections subject to conditions/advisory notes.

Welsh Water Developer Services - No objection subject to the imposition of a condition regarding the drainage of the development.

Conservation & Design - No objection.

Head of Street Scene (Highways) - No objection.

Head of Street Scene (Drainage) - No objection, subject to the imposition of a condition regarding the drainage of the development.

REPRESENTATIONS RECEIVED

Letters of objection have been received from the following neighbouring residents:

Cllr Tracy Hill, 43 Esplanade Avenue

John Finney, 17 Esplanade Avenue

Jane Hurley, 37 Esplanade Avenue

Debbie Trindle, 33 Esplanade Avenue

Maureen Garrard, 33 Esplanade Avenue

Pamela Jenkins, 41a Esplanade Avenue

Sian Hardy, 45 Esplanade Avenue

Adrian Williams.

The following is a summary of the planning objections received by the local residents:

1. The proposal will change the character of the street which is a Conservation Area.
2. The development will not match the look and the quality of the Avenue.

3. The development does not respect surrounding development so contravenes Policy SP2 of the Local Development Plan.
4. The development will damage the character of the Avenue, an important region for Porthcawl's tourism industry.
5. The new builds will not match the quality, look, historical value of Esplanade Avenue but will devalue the Conservation Area.
6. The historic cottage will be obscured from sight and severely compromised by the development. This is a historical building that would lose its charm and social history with future owners of this cottage being hemmed in four ways, with no views for 360 degrees. The cottage will lose its historical charm being a landmark.
7. It would be advantageous for BCBC to have meetings with CADW/historical buildings Wales as to the preservation of the cottage.
8. Parking is inadequate to serve the proposed properties.
9. Access is dangerous as it crosses a pavement with no vision splays.
10. The egress of vehicles onto Esplanade Avenue will add to the danger in an already busy street.
11. Making a wider access to enter the properties would take away the public car parking spaces out on the road.
12. The new road access will add to both air pollution and noise pollution.
13. Area currently affords significant eco-system services and habitat for wildlife.
14. The site currently contributes to Porthcawl's green infrastructure and general wellbeing – Policy ENV 5.
15. Trees are said to remain but will likely be felled following risk assessment if buildings erected and the building would damage tree root system.
16. The site currently absorbs surface water, losing this presents serious flood risk.
17. The scheme does not accord with the goals and objectives of the Wellbeing of Future Generations Act.
18. The houses opposite will lose their light and views of the existing garden space associated with the old cottage.
19. The proposal would directly overlook properties opposite the application site.
20. Disruption to residents should the build be granted permission.

A letter of support from Mr & Mrs Hollenbach of 40 Esplanade Avenue has also been received that states they are dismayed to have received an anonymous letter canvassing support against the development. The proposal is in keeping with the existing façade of Esplanade Avenue and provides more than ample off street parking etc.

Mr Andrew Flock of 36-38 Esplanade Avenue has also provided correspondence to state he has no objection against the proposal.

Porthcawl Civic Trust Society has provided correspondence detailing they have no objection to the revised planning application.

COMMENTS ON REPRESENTATIONS RECEIVED

1 - 5. The visual impact of the development is addressed in the Appraisal Section of this report with the scheme considered acceptable in this regard. A proposal for the erection of two dwelling houses in this location is also unlikely to have an adverse impact on Porthcawl's tourism industry.

6. The existing cottage building is somewhat screened from public views by the high boundary fence and planting that is currently positioned towards the front boundary of the site. The application represents the revision of an earlier submission for the erection of three dwellings at the site although the revised proposal retains a 9m opening to allow access and views of The Cottage to be retained from Esplanade Avenue. The Conservation and Design Team has raised no objections against the planning application as further detailed in the Appraisal Section of this report with the impact of the scheme on the existing cottage building not considered so adverse to warrant a recommendation to refuse the planning application in this regard.

7. The application site does not compromise any Listed Buildings and, although it is sited within a Conservation Area, the Council's Conservation and Design Team has raised no objections against the planning application.

8 - 11. In terms of highway safety the Transportation Section has raised no objections against the planning application as further detailed in the Appraisal Section of this report.

12. A proposal for the erection of two dwelling houses in an existing built up area is unlikely to raise such adverse noise and air pollution concerns to warrant a recommendation to refuse the planning application in this regard.

13 - 15. The Council's Ecologist has raised no adverse comments against the planning application. The application site comprises an existing private garden space rather than any significant or substantial public green space and its loss is not considered so harmful to the general amenities of the area to warrant a recommendation to refuse the planning application in this regard.

16. The application site is not situated within an identified flood risk zone with the Council's Land Drainage Section and Welsh Water raising no objections against the planning application, subject to the imposition of a condition to appropriately control the drainage arrangements for the development.

17. Section 3 of the Wellbeing of Future Generations (Wales) Act 2015 imposes a duty on public bodies to carry out sustainable development in accordance with sustainable development principles to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (section 5). In considering this application, it is considered that the proposal for two infill properties within an existing built up residential area is in accordance with the Act's sustainable development principles.

18 - 19. Loss of view is not a material or justifiable planning reason to warrant the refusal of the submitted planning application. The impact of the development on the residential amenities and privacy levels currently enjoyed by neighbouring properties are fully considered within the Appraisal Section of this report with the scheme considered acceptable in this regard.

20. Inevitably a development so close to existing properties is going to result in some inconvenience, general disturbance and disruption during the construction period. Nevertheless this is not a valid reason to justify the refusal of the planning application with such disturbance being of a temporary nature and controlled under separate legislation.

APPRAISAL

The application is referred to the Development Control Committee for determination in view of the number of objections received from local residents.

The application seeks planning permission for the erection of a pair of semi-detached dwellings at Esplanade Avenue, Porthcawl. The proposed dwellings and associated off street car parking space would be created within the existing garden space associated with the residential property known as 'The Cottage'. The application site is situated within the recently extended Porthcawl Conservation Area.

Permission was originally sought for the erection of 3 dwellings on the site (P/17/115/FUL refers) although this application was subsequently withdrawn by the applicant and revised to the current submission.

The application site is located within the designated settlement boundary of Porthcawl as defined by Policy PLA1 of the Bridgend Local Development Plan (LDP). Policy COM3 of the LDP supports the re-use of under-utilised land within the urban area for small-scale residential development where no other LDP Policy protects the building or land for an existing or alternative use. Whilst acknowledging the application site is situated within a Conservation Area, there is no specific or restrictive LDP policy associated with the application site. The use of the site for residential purposes therefore represents a sustainable and compatible use of the plot with residential development being supported in principle on the site.

Policy SP2 of the LDP establishes the criteria for acceptable design and sustainable place making. This is supported by guidelines set out in Design Guide 1: Dwellings and Domestic Scale Buildings and Supplementary Planning Guidance 2: Householder Development. Policy SP5 of the LDP highlights that development should conserve, preserve or enhance the built and historic environment of the County Borough and its setting, including Conservation Areas and their settings.

In terms of the impact of the proposal on the character and appearance of the street scene and the surrounding Conservation Area, the development is considered to represent a sympathetically designed proposal that is reflective of the appearance, finishes and form of existing dwellings in the street scene. The proposal represents a direct replication of the existing buildings that characterise this traditional Victorian street scene, with the development proposal considered sensitive to the wider site context. The proposed dwellings would follow the general building lines of the adjoining properties, replicate the existing ridge and eaves height and copy the design finishes of the neighbouring buildings.

The application has been carefully considered following consultation with the Council's Conservation and Design Team who acknowledge that the proposal represents a revised scheme whereby the number of proposed units has been reduced from 3 to 2 units, using the space gained to increase the current access to The Cottage and therefore retain an enlarged vista through to this historic cottage building and thereby retain this aspect of interest within the Porthcawl Conservation Area. It is considered that, generally, in material and design terms, the proposed infill houses have attempted to reflect the character of this part of the Conservation Area through the design of the proposed dwellings that are detailed with many of the architectural features evident on Esplanade Avenue with chimneys, high gabled roofs, bay windows, timber sash windows and balconies. The use of the proposed houses to infill a gap site in the Avenue is considered appropriate in scale and design and would to a greater extent complete the street scene.

The design of the infill is an acceptable proposal and is indicative of the extent to which the proposal has adequately paid regard to its context. On this basis, the appropriate design of the proposed development is considered to outweigh any potential loss of open space within the Conservation Area as a result. The open space is currently a fenced off private garden that is not accessible from the public domain. The development is

considered likely to have a positive impact on the character and appearance of the Conservation Area subject to conditions, controlling the exact external finishing materials to ensure they are in keeping with the finishes of neighbouring properties and all means of boundary treatment are satisfactory including the boundary treatment proposed to the front of the existing Cottage building.

It is further considered that the development would not result in the overdevelopment of the site and would provide appropriate amenity space for both the proposed dwellings and the existing dwelling to be retained. Whilst the proposed gardens serving the new dwellings are relatively modest in scale they are not uncharacteristic of garden sizes within the locality with the development site being situated in close proximity to the open sea front and numerous amenities. Overall, the development is considered to be acceptable in terms of visual amenities and its likely impact on the character and appearance of the surrounding Conservation Area. As such, the proposal is considered to enhance and preserve the Conservation Area.

In terms of the impact on neighbouring residential amenity and privacy, with due regard to the comments raised by neighbouring residents, the scheme is considered acceptable. The application site effectively comprises an infill plot that is immediately abutted by residential properties and a hotel to its southern boundary. The proposed dwellings would be erected alongside the side elevations of the adjacent properties, following comparable building lines with a side pedestrian access being retained to the south of the properties and vehicular access to the north of the properties. No aspect of the scheme would therefore have any harmful overbearing or dominating impact on the existing adjacent properties particularly the principal habitable room windows of existing properties sited adjacent to the application site.

A distance of approximately 21.5m would be retained between the rear habitable room windows of the new development and the main front windows of the existing cottage building, thereby ensuring an appropriate relationship would be created between the new development and the existing cottage premise.

Whilst it is acknowledged properties situated opposite the application site would experience a change to their general outlook as a result of the development this is not considered so adverse to warrant a recommendation to refuse the planning application. A distance of approximately 17 – 18m would be retained between the new development and the existing buildings along the eastern side of Esplanade Avenue. A degree of mutual overlooking would occur between the development and the front of neighbouring properties that are situated opposite the site although this type of relationship between properties is commonly found in the area, with no aspect of the development considered harmful to the current levels of residential amenity and privacy currently enjoyed within the locality.

In terms of highway safety, the Highway Officer has carefully considered the transportation implications of the proposal and raised no objections against the planning application. It is advised that the applicant originally submitted a scheme for the construction of 3 dwellings on this site, however, this scheme raised a number of concerns with the Highway Authority in particular the lack of off-street parking for the parent property and the proposed dwellings. Furthermore the proposed access onto Esplanade Avenue relied on crossing 3rd party land to achieve the required vision splays. The applicant has now revised the scheme and reduced the number of proposed dwellings to 2.

It is noted that the latest scheme has now addressed the highway concerns. It is considered that the proposal provides adequate off-street parking to ensure that the parent property continues to benefit from 3 off-street parking spaces and the parking

quantum for the proposed dwellings meets the standards in the Council's adopted parking standards, SPG17. In addition, the revised plans show the provision of a turning area, so that cars can enter and leave the site in a forward gear, and visitor parking to ensure that the development does not generate additional on-street parking on Esplanade Avenue. It is also noted that the access to the site has been relocated and widened to ensure that adequate vision splays can be achieved without crossing 3rd party land.

On this basis, no objections are raised against the planning application from a highway's perspective.

With regard to site drainage, the Land Drainage Officer and Welsh Water raise no objections against the planning application. The imposition of a planning condition that will require the agreement of a comprehensive drainage scheme for the site prior to development commencing should therefore provide sufficient protection to the existing drainage infrastructure and the amenity of residents.

Section 40 of the Natural Environment and Rural Communities Act 2006 states that 'every public authority must, in exercising its function, have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity'. This "duty to conserve biodiversity" has been replaced by a "biodiversity and resilience of ecosystems duty" under Section 6 of the Environment (Wales) Act 2016 which came into force on 21st March, 2016.

Section 6 (1) states that "a public authority must seek to maintain and enhance biodiversity in the exercise of functions in relation to Wales, and in so doing promote the resilience of ecosystems, so far as consistent with the proper exercise of those functions." Section 6(2) goes on to state that "In complying with subsection (1), a public authority must take account of the resilience of ecosystems, in particular (a) diversity between and within ecosystems; (b) the connections between and within ecosystems; (c) the scale of ecosystems; (d) the condition of ecosystems (including their structure and functioning); and, (e) the adaptability of ecosystems."

Regulation 9 of the Conservation of Habitats & Species Regulations 2010 requires LPAs to take account of the presence of European Protected Species at development sites. If they are present and affected by the development proposals, the Local Planning Authority must establish whether "the three tests" have been met, prior to determining the application. The three tests that must be satisfied are:

1. That the development is "in the interests of public health and public safety, or for other imperative reasons of overriding public interest, including those of a social or economic nature and beneficial consequences of primary importance for the environment".
2. That there is "no satisfactory alternative"
3. That the derogation is "not detrimental to the maintenance of the populations of the species concerned at a favourable conservation status in their natural range"

The Council's Ecologist has reviewed the submitted planning application and raised no adverse comments against the planning application. Whilst it is preferable to keep trees and greenery as part of the landscape, in this instance, although the trees are within a Conservation Area, they are not subject to any formal protection in the form of a Tree Preservation Order. Therefore, the loss of such features does not raise such adverse amenity concerns to warrant a recommendation to refuse the planning application in this regard. As such, it is considered that, overall, there will be no significant adverse residual impacts on biodiversity and therefore, the proposal is considered to comply with the requirements of the Habitats Regulations 1994 (as amended), Section 6 of the Environment (Wales) Act 2016, guidance contained within TAN 5: Nature Conservation and Planning (2009) and relevant LDP policies.

Section 3 of the Wellbeing of Future Generations (Wales) Act 2015 imposes a duty on public bodies to carry out sustainable development in accordance with sustainable development principles to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (section 5).

The well-being goals identified in the Act are:

- A prosperous Wales
- A resilient Wales
- A healthier Wales
- A more equal Wales
- A Wales of cohesive communities
- A Wales of vibrant culture and thriving Welsh language
- A globally responsible Wales

The duty has been considered in the assessment of this application. It is considered that there would be no significant or unacceptable impacts upon the achievement of wellbeing goals/objectives as a result of the proposed development.

Whilst determining this application, Policies PLA1, PLA11, COM3, ENV5, SP2 and SP5 of the Bridgend Local Development Plan and Supplementary Planning Guidance 02 and 17 were considered.

CONCLUSION

This application is recommended for approval because the development complies with Council policy and guidelines and does not adversely affect privacy, highway/pedestrian safety, ecology/biodiversity, visual amenities nor so significantly harms neighbours' amenities as to warrant refusal.

The development can contribute to creating a high quality, attractive, sustainable place compatible with the surrounding area and Conservation Area.

RECOMMENDATION

(R02) That permission be GRANTED subject to the following condition(s):-

1. The development shall be carried out in accordance with the following approved plans and documents:

Site as proposed scheme 2: Attic Plan & Site Layout - received 14/06/2017

Site as proposed scheme 2: GF plan and site layout - received 14/06/2017

Site as proposed scheme 2: FF plan and site layout - received 14/06/2017

Front elevation as proposed scheme 2 - received 14/06/2017

Rear elevation as proposed scheme 2 - received 14/06/2017

Side elevation facing east as proposed scheme 2 - received 14/06/2017

Side elevation facing west as proposed scheme 2 - received 14/06/2017

Reason: To avoid doubt and confusion as to the nature and extent of the approved development.

2. No development shall take place until a detailed specification for, or samples of, the materials to be used in the construction of the external surfaces of the buildings hereby permitted (including roof tiles, ridge tiles, chimney pots, roof lights, external wall details,

fascia's and rain water guttering, windows and doors) have been submitted to and agreed in writing by the Local Planning Authority. Development shall be carried out in accordance with the agreed details.

Reason: To ensure that the proposed materials of construction are appropriate for use on the development so as to enhance and protect the visual amenity of the Conservation Area.

3. No development shall take place until there has been submitted to and agreed in writing by the Local Planning Authority a landscaping scheme which shall include, proposals for surface treatment, indications of all existing trees and hedgerows on land, and details of any to be retained, together with measures for their protection in the course of development. The agreed landscaping works shall be carried out prior to the occupation of any part of the development or in accordance with a programme agreed with the Local Planning Authority prior to any development commencing on site.

Reason: To maintain and improve the appearance of the area in the interests of visual amenity, and to promote nature conservation.

4. Notwithstanding the requirements of condition no.1, no development shall take place until there has been submitted to and agreed in writing by the Local Planning Authority a plan indicating the positions, design, materials and type of boundary treatment to be erected and a timetable for its implementation. Development shall be carried out in accordance with the agreed plan and timetable.

Reason: To ensure that the general amenities of the area are protected.

5. No development shall commence on site until a scheme for the comprehensive and integrated drainage of the site, showing how foul drainage, road and roof/yard (surface) water will be dealt with, including future maintenance requirements, has been submitted to and agreed in writing by the Local Planning Authority. The agreed scheme shall be implemented in full prior to the occupation of the dwellings hereby approved.

Reason: To ensure that effective drainage facilities are provided for the proposed development and that flood risk is not increased.

6. Notwithstanding the provisions of the Town & Country Planning (General Permitted Development) Order 1995 (as amended for Wales) (or any Order revoking and re-enacting that Order with or without modification), no development which would be permitted under Article 3 and Classes A, B, C, D or E of Part 1 of Schedule 2 of the Order shall be carried out within the curtilage of the dwellings hereby permitted without the prior written consent of the Local Planning Authority.

Reason: In the interests of visual and residential amenities.

7. The parking area shall be completed in permanent materials with the individual spaces clearly demarcated in permanent materials in accordance with the approved layout prior to the development being brought into beneficial use and retained for the purpose of parking in perpetuity.

Reason: In the interests of highway safety.

8. The proposed means of access shall be laid out with vision splays of 2.4m x site frontage before the development is brought into beneficial use and retained as such thereafter.

Reason: In the interests of highway and pedestrian safety.

9. No structure, erection or planting exceeding 0.9 metres in height above adjacent carriageway level shall be placed within the required vision splay areas at any time.

Reason: In the interests of highway and pedestrian safety.

10. Any proposed driveway gates shall be set back not less than 5 metres from the nearside edge of the carriageway.

Reason: In the interests of highway and pedestrian safety.

* THE FOLLOWING ARE ADVISORY NOTES NOT CONDITIONS

a. This application is recommended for approval because the development complies with Council policy and guidelines and does not adversely affect privacy, highway/pedestrian safety, ecology/biodiversity, visual amenities nor so significantly harms neighbours' amenities as to warrant refusal.

b. Rainwater run-off shall not discharge into the highway surface-water drainage system. Failure to ensure this may result in action being taken under Section 163 of the Highways Act 1980.

c. Before creating, altering or reinstating any vehicular crossover, constructional details must be agreed with the Highway Maintenance Manager. You should contact the Highway Maintenance Inspector for the area, Bridgend County Borough Council, Civic Offices, Angel Street, Bridgend. Telephone No. (01656) 642541.

d. The Public Protection Section draws your attention to the following:-

- The possibility of gases (landfill gases, vapours from contaminated land sites, and naturally occurring methane and carbon dioxide, but not radon gas) being generated at the site or land adjoining thereto, and recommend investigation and monitoring of the area.

- In the event that contamination is found at any time when carrying out the approved development that was not previously identified it should be reported in writing within 2 days to the Public Protection Section, all associated works should stop and no further development should take place until a scheme to deal with the contamination found has been approved.

- Any topsoil [natural or manufactured] or subsoil, to be imported, should be assessed for chemical or other potential contaminants and only chemical or other potential contaminants free material should be imported.

- Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported should be assessed for chemical or other potential contaminants and only chemical or other potential contaminants free material should be imported.

- The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

(i) determining the extent and effects of such constraints;

(ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates/ soils) are chemically suitable for the proposed end use, lies with the applicant/developer.

- Under no circumstances should controlled waste be imported. It is an offence under Section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site;

- Unprocessed / unsorted demolition wastes.
- Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
- Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed.

MARK SHEPHARD
CORPORATE DIRECTOR COMMUNITIES

Background Papers

None